

**Longhorn Inspections, Inc.**  
**P.O. Box 985 Lockhart, TX 78644**  
**512-422-5553 - Office / Mobile**



## PROPERTY INSPECTION REPORT

---

**Prepared For:** Client Name  
(Name of Client)

**Concerning:** Property Address **Insp.#: 191127 - A** **Agent:**  
(Address or Other Identification of Inspected Property)

**By:** Danny Pitts, TREC License # 4717 **11/27/19**  
(Name and License Number of Inspector) (Date)

\_\_\_\_\_  
(Name, License Number and Signature of Sponsoring Inspector, if required)

---

### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding.
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions.

While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

---

---

**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR****THIS IS NOT A CODE INSPECTION. NO PERMIT INFORMATION HAS BEEN OBTAINED.**

This inspection report is based on present day national codes, although it is not a code inspection per se. Local code authorities may or may not have adopted specific items in a given time frame. Nothing (other than your contract) requires an owner to bring an item up to today's code. I inspect this property in comparison to a newly built, well constructed home or building. Even though some of the items listed may be normal to today's building quality, if in my opinion it is not as good as it could be, I note it. Most roofs that I inspect (including new construction) sag at various locations even though it may have been built to code. Almost all homes have loose / poor fitting joints at various locations in the attic framing. If you have any questions regarding information in this report, please do not hesitate to call me.

NOTES HAVE BEEN INCLUDED AT VARIOUS LOCATIONS IN THE REPORT TO PROVIDE SUPPLEMENTAL OR ADDITIONAL INFORMATION. THE INFORMATION IN THE NOTES DOES NOT CONSTITUTE OR INDICATE A DEFICIENCY.

THE PICTURES IN THE REPORT REPRESENT EXAMPLES OF VARIOUS CONDITIONS PRESENT BUT NOT ALL CONDITIONS PRESENT HAVE BEEN PHOTOGRAPHED.

Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments. If an item is present in the property but is not inspected, the "NI" column will be checked and an explanation is necessary. Comments may be provided by the inspector whether or not an item is deemed in need of repair.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

THE SUBJECT PROPERTY





**I. STRUCTURAL SYSTEMS**☒ ☐ ☐ ☒**A. Foundations***Type of Foundation(s): SLAB & PIER & BEAM**Comments:*

THE SLAB – Excessive differential movement of the slab was not observed on the day of the inspection. Although this opinion is based on many years of experience in the construction industry, the inspector is not an engineer & this report should not be construed as an engineering report. This performance opinion on the foundation is limited specifically to visual indicators observed at the time of the inspection and is not a warranty or guarantee of future performance. If further information about the foundation is desired, a Professional Structural Engineer can be consulted.

The slab was inaccessible at the right rear & the left front of the living room at the high soil.

- THE PIER & BEAM FOUNDATION – The pier & beam foundation was generally found to be in satisfactory condition on the day of the inspection
- THE CRAWL SPACE - Was inaccessible at the right rear (the kitchen area) due to the low clearance & in front of the “tunnel” under the den because it narrowed to become impassible.



- BELOW IS A PICTURE OF THE BOTTOM OF THE SLAB FLOOR JUST INSIDE THE TUNNEL.



- THE PIER & BEAM FOUNDATION PIERS – Are poured concrete, depth of the footings is unknown.
- ALL WOOD BEAMS & FLOOR JOISTS THAT ARE WITHIN 12 IN. OF THE GROUND – Are not pressure treated wood as required at the right under the kitchen.



NOTE: It is important to maintain consistency in the moisture content of the soil around the house throughout the year. This will help reduce expansion & contraction of the soil which can adversely affect the foundation. If soaker hoses are used, they should not be placed against the foundation but should be placed 1 to 2 feet away from the house. To reiterate, the aim is to keep the soil moisture content constant throughout the year.

☒ ☐ ☐ ☒

**B. Grading & Drainage - Comments:**

- THE GUTTERS – Remove all debris from the gutters.





- THE GUTTER DOWNSPOUTS – Add splash blocks or extensions at all the downspouts that terminate on the ground.



- REGRADE THE SOIL – To expose 4 to 6 in. of the slab at the right rear & the left front of the living room.







- Regrade the soil down & away from the foundation (the code requires 5% slope extending 10 ft. out from the house) to divert the water around & away from the house, especially at the right rear. In other words, this means that the soil should fall 6 in. within 10 ft. of the house on all 4 sides of the house.

☒ ☐ ☐ ☒

### C. Roof Covering Materials

*Type(s) of Roof Covering: COMPOSITION SHINGLES*

*Viewed From:* Inspector walked on the Composition Shingle roof. No shingles were lifted to see the nailing patterns during the inspection for fear of damage to the shingles.

*Comments:*

- THE METAL DRIP EDGE FLASHING - Is missing at the eaves. The purpose of the metal drip edge is to help protect the drip mold, fascia & roof decking from water damage. It is a common construction practice in the Central Texas area to omit the drip edge, although it is required by the shingle manufacturer's specifications for composition shingles & tile.
- THE SKYLIGHT – Is not properly installed on a "curb" (a 2x4 box to raise the skylight off the roof surface which allows proper flashings to be provided in order to prevent water penetration) at the loft.

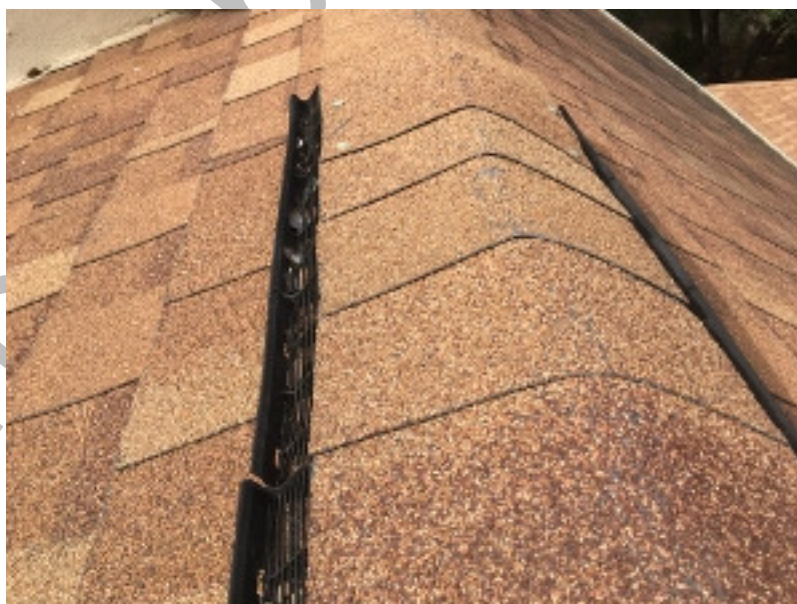
- THERE ARE TREE DAMAGED SHINGLES – At the rear of the ridge at the left rear gable roof.



- THERE ARE MULTIPLE DAMAGED / WORN RIDGE CAP SHINGLES – At various locations.







- THE PLUMBING & MECHANICAL VENT PIPE FLASHING BOOTS - Are loose at various locations, renaill.







- The boots are not properly installed (the bottoms of the boots are not on top of the shingles) at the rear of the garage.



- A RAIN COLLAR TO PREVENT WATER LEAKAGE INTO THE ATTIC – Is missing at the upstairs rear water heater vent pipe.



- THERE ARE LOOSE / RUSTED FLASHINGS – At various locations including at the skylight, the left rear & the chimney.











- SEAL THE COUNTER FLASHINGS / FLASHING ENDS – At the roof / wall connections at various locations including at the left of the garage to prevent water penetration.



- THE SKYLIGHT – Is broken at the game room.



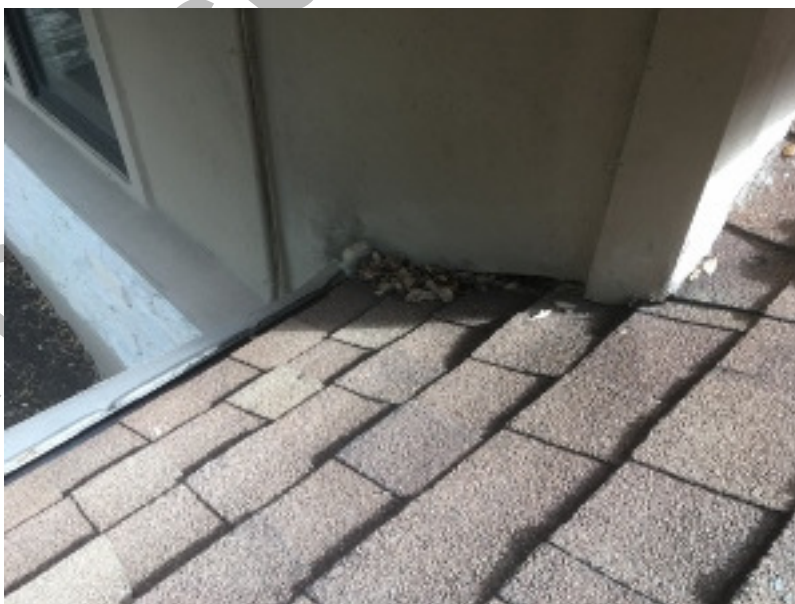
- THERE ARE MISSING STEP FLASHINGS – Step flashings are required at the roof / wall connections by code. NOTE: Turnback flashings / J flashings are present rather than step flashings. The use of turnback flashings is a common construction practice in the Central Texas region.



- THERE ARE MISSING FACTORY BUILT KICKOUT FLASHINGS – At the roof / wall connections at various locations including at the left of the garage & the right rear where a wall extends below the roof termination (to prevent water penetration behind / into the siding).









- THE VALLEY FLASHING – Does not terminate on top of the singles at the rear of the right gable above the garage.



- THERE IS AN EXPOSED ROOF NAIL – Through the surface of the shingles at the rear of the valley above the garage.



- THERE ARE MISSING NAILS LEAVING HOLES – At the roof / wall flashing at the rear of the chimney / front of the master suite deck.



- ALL EXPOSED ROOF NAILS - Are not sealed (caulked) at the flashings, roof vents & ridge shingles to prevent water penetration.



- THE ROOF – Remove the debris from the roof at various locations.





☒ ☐ ☐ ☒**D. Roof Structure & Attic**

*Viewed From:* The decked attic spaces.

*Approximate Average Depth of Insulation:* 6 to 10 inches

*Approximate Average Thickness of Vertical Insulation:* 4 inches

*Comments:*

NOTE: ATTIC ACCESSIBILITY – The inspector only inspects attic areas in which he can walk upright, has framing available to provide stability & is not obstructed by framing or duct work. The inspector does not crawl through attics or obstructions.

THE ATTIC WAS INACCESSIBLE – At the eaves. .

▪ THE ATTIC FRAMING:

- Joist hangers are missing at the headers between the ceiling joists at the attic door.



- THE INSULATION – Was mostly inaccessible. The insulation has poor / uneven coverage at various locations. Add a minimum of R-38 to the ceilings.

- DECAYED / DAMAGED FASCIA & DRIP MOLD – At various locations including at the right of the chimney.



- THE ROOF DECKING HAS NOT BEEN CUT 2 TO 3 INCHES AT THE RIDGE – To create an opening that allows the ridge vents to work.



- THE ATTIC DOOR (PULL DOWN STAIRS) – Cut the legs of the stairs so that the stairs are straight & the hinges are properly engaged. The garage attic door is not a fire rated door.





☒ ☐ ☐ ☒**E. Walls (Interior & Exterior) - Comments:**

- THE KITCHEN COUNTERTOP – Recaulk the tile backsplash to the countertop.



- THERE IS SHEETROCK CRACKING – At the downstairs fireplace.
- STUCCO SIDING IS PRESENT – This report does not attempt to identify the type of stucco system installed or the installation methods used to install this stucco system. I am not an expert in the evaluation of stucco siding. If concerned, have a certified stucco specialist advise you.
- THERE ARE CRACKS IN THE STUCCO – At various locations including at the left rear.



- THERE IS DAMAGED STUCCO – At various locations including at the left deck pillars.
- PROPERLY INSTALLED STUCCO CONTROL JOINTS / EXPANSION JOINTS – Are missing. Joints are not present for every 144 square feet of wall area (a rough industry standard), at the second story floor line & at all the corners of the door & window openings.



- WEEP SCREED FLASHING TO PROVIDE A DRAINAGE PLANE FOR THE STUCCO – Is missing at the bottom of the walls.
- THE STUCCO SIDING AT THE ROOF / WALL CONNECTIONS – Does not have 2 inch clearance from the shingles at various locations.



- THERE ARE CRACKS / HOLES IN THE ROCK MORTAR - At various locations. Seal the cracks & holes to prevent water penetration.



- WEEP HOLES EVERY 33 IN. – Are missing at the first layer of the rock & above the door & windows at various locations.



- ROCK EXPANSION JOINTS – Are not present.



- RESEAL THE EXTERIOR – At the rock moldings, the windows, the trim & the siding connections at various locations (to prevent water penetration). Seal all the wall penetrations. The maintenance of the sealants will be an ongoing process.





☒ ☐ ☐ ☒

**F. Ceilings & Floors – Comments:**

- THE FLOORS ARE SLIGHTLY OUT OF LEVEL – At various locations including in the hall from the garage door to the game room & in the hall to the ½ bath.

☒ ☐ ☐ ☒

**G. Doors (Interior & Exterior) – Comments:**

- GARAGE DOORS (THE DOOR BETWEEN THE GARAGE & THE HOUSE) ARE REQUIRED TO HAVE A SELF CLOSING DEVICE – To maintain a fire separation from the dwelling.
- ADJUST THE DEAD BOLT STRIKER PLATE – At the garage door, so the dead bolt will work properly.
- DRILL THE DEAD BOLT HOLE DEEPER – At the front downstairs bedroom exterior door & the master bedroom exterior door.
- THE DOOR STOPS - Are missing / damaged at various locations.
- THE DOORS ARE BINDING ON THEIR FRAMES – At the laundry room, the loft exterior & the master bath doors.
- THE DOOR DRAGS ON THE THRESHOLD – At the garage.
- THE HANDLE LOCK IS NOT WORKING – At the garage door & a rear sliding door at the right rear of the den.
- THE STRIKER PLATE IS MISSING – At the front door.

- THE DOOR FOR THE ABANDONED AC CLOSET IN THE GAME ROOM – Is not a solid core door.
- THE WEATHER STRIPPING IS MISSING – At the abandoned AC closet door.
- THE DOOR SWEEP - Is missing at the abandoned AC closet door.



☒ ☐ ☐ ☒

#### H. Windows –

(**NOTE:** THE WINDOW FLASHINGS- Are inaccessible & were not inspected. Generally speaking, many windows are not properly flashed. Furthermore, many windows leak when subjected to extreme conditions. It is unknown if the window flashings are present & correctly installed at this property.)

*Comments:*

- THERE ARE DAMAGED WINDOW MOLDINGS - At various windows in the living room.







- THERE ARE FOGGED WINDOWS - At the left in the living room & the master bath.



- THE WINDOWS ARE HARD TO OPERATE – At various locations including at the game room, the downstairs hall bath & the rear downstairs bedroom.
- THE WINDOW LOCKS STICK (BIND ON THE FRAMES) – At the den.
- THE WINDOW – Is not staying up by itself (the spring is broken / loose) at the left front of the living room.

- THERE ARE MISSING SCREENS – At all the windows (there are screens in the garage).
- ALL WINDOWS WITHIN 2 FT. OF A DOOR - Must be safety glass. The window is not designated as tempered glass adjacent to the master bedroom door.



☒ ☐ ☐ ☒

**I. Stairways (Interior & Exterior) – Comments:**

- THE STAIR RAILING IS MISSING – At the pool stairs. When 3 or more steps are present (a railing is required & pickets must be 4 in. apart maximum).



- THE HANDRAILS – The handrails do not turn back to the wall at the top / bottom ends at various locations.



- A PROPER HANDRAIL IS NOT PRESENT – At the rear porch & the bottom flight of stairs. The handrail grip size shall be a minimum of 1 ¼ inches to a maximum of 2 5/8 inches.







☒ ☐ ☐ ☒

**J. Fireplace/Chimney- Comments:**

**(A smoke test was not performed for chimney draw.)**

NOTE: THE FIREPLACE IS AN UNVENTED MODEL – In the master bedroom. I would suggest placing a carbon monoxide detector above the fireplace for added protection.

- THE FLUE LINER – Was inaccessible & was not inspected. If concerned, have a chimney specialist evaluate the flue liner.
- THE CHIMNEY FIRE STOP – Was inaccessible & was not inspected.

☒ ☐ ☐ ☒

**K. Porches, Balconies, Decks and Carports– Comments:**

- NOTE: NADRA (THE NORTH AMERICAN DECK & RAILING ASSOCIATION) ESTIMATES THAT THE TYPICAL LIFE EXPECTANCY OF WOOD DECKS IS ABOUT 10 TO 15 YEARS.

- THE REAR DECK POSTS - Have wood to soil / concrete contact, add post holders at the left. The bottoms of the posts are damaged / decayed at various locations. The posts should be repaired / replaced.









- THE POSTS / PIERS FOR THE OBSERVATION DECK – Have concrete poured around them, which can trap water against the posts / have wood to ground contact. The concrete is cracked / damaged.





- THERE IS DAMAGE / DECAY – At various locations at the floor boards, railings & pickets, especially at the master deck.







- THE NAILS ARE NOT GALVANIZED / ARE RUSTING – At the railings at various locations.



- THE RAILINGS ARE LOOSE – At the master suite deck.

- THE REAR PORCH / DECK RAILING - Is missing at the left of the doors. When porch / deck heights exceed 30 in., a railing is required & the pickets must be 4 in. apart maximum.



- RAILINGS ARE MISSING – At the observation deck.

- THE LOFT PORCH / DECK RAILING PICKETS – Are not 4 in. maximum apart.



☐ ☐ ☒ ☐

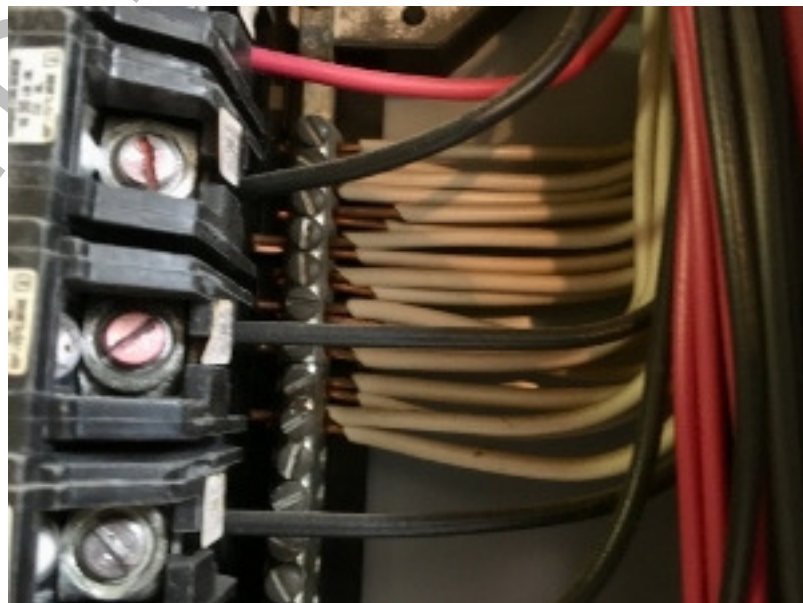
L. Other– Comments:

## II. ELECTRICAL SYSTEMS

☒ ☐ ☐ ☒

A. Service Entrance and Panels – Comments:

- THE SERVICE IS APPARENTLY GROUNDED FROM THE METER BOX. A GROUND WIRE WAS NOT OBSERVED IN EITHER OF THE BREAKER BOXES IN THE GARAGE - Did not observe the termination of the ground wire to a ground rod or the slab.
- THE MAIN BREAKER BOX –The second ground wire to a ground rod / the slab is missing (required as of the 1997 code).
- The box has double lugged neutral wires (more than 1 wire connected to the screws) at the buss bar, which is a potential fire hazard.





- The swimming pool equipment is not bonded.
- The metal water line does not appear to be bonded. Have a licensed electrician evaluate the water line.
- The gas line is not bonded.



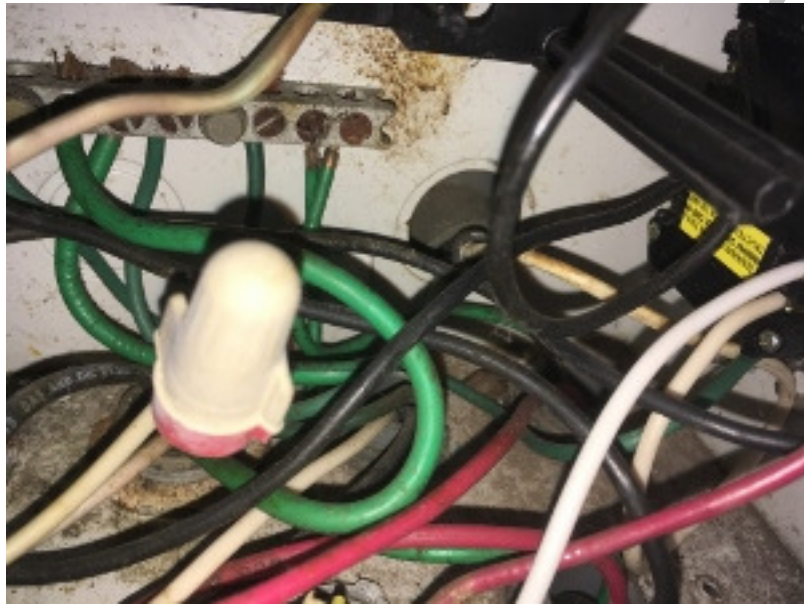
- THE MAIN BREAKER BOX - All the wires pass through 3 large holes in the top of the box, which creates a heat issue. The holes are not closed / sealed to prevent the potential spread of fire from the box into the wall. The wires are not connected to the box.



- THE LEFT MAIN BREAKER BOX - Does not have a main disconnect, required when more than 6 breakers are present (if it is to be considered a 2<sup>nd</sup> main box).
- If it is to be considered a secondary box, it is not bonded.



- THE POOL SECONDARY BREAKER BOX – The box is not bonded.



- The box has 2 double lugged breakers, add 2 breakers & separate the 2 wires on the double lugged breakers to 1 wire per breaker.



- ARC PROTECTION BREAKERS FOR ALL LIVING AREAS (AFCI – ARC FAULT CIRCUIT INTERRUPTOR BREAKERS, WHICH ARE FIRE PREVENTION DEVICES) – Are now available (required as of the 2009 code).



☒ ☐ ☐ ☒**B. Branch Circuits, Connected Devices, and Fixtures***Type of Wiring:* COPPER WIRES*Comments:*

- ADD G.F.C.I. OUTLETS - To all the outlets at the kitchen countertops.
- ADD G.F.C.I. BREAKERS - For the kitchen appliances including the dishwasher & the disposal outlets (required as of the 2015 code) & all the laundry room outlets (required as of the 2015 code).
- THE WEATHER PROOF OUTLET COVERS AT THE EXTERIOR OUTLETS – Are not the “bubble type covers” required for “wet locations” (where there is not a roof protecting the outlets) at various locations.



- THE LIGHT IS NOT WORKING – At the downstairs den closet.
- THE CAN LIGHTS – Verify that the can lights are rated for installation under insulation where applicable.
- THERE ARE LOOSE OUTLETS – At various locations including at the bar sink, the right rear of the garage, the left rear of the living room, the downstairs hall & the master bath.
- THERE ARE DEAD OUTLETS – At the right of the fireplace in the downstairs den & on the Jacuzzi.
- THE 220 AMP CLOTHES DRYER OUTLET – Is not a 4 prong grounded outlet (introduced in the 1997 code).



- THE CEILING FANS - Add longer pull chains to change the speeds of the fans where needed.

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

☒ ☐ ☐ ☒

#### A. Heating Equipment

Type of System: 2 - Attic - Horizontal

Energy Source: Gas

Comments: (Gas line testing from units to their cut off valves only.)

- THE GAS LINE – Is missing a drip leg / sediment trap above the garage.



- THE VENT PIPE RAIN COLLAR - Lower the rain collar down to the flashing cone & reseal the rain collar to the vent pipe to prevent water leakage into the attic above the garage.





- EACH VENT PIPE – Does not have a 1 inch minimum clearance from combustible materials at the roof decking / roofing materials, which is a fire hazard.



☒ ☐ ☐ ☒

**B. Cooling Equipment (Change / Clean filter monthly)**

Type of System: 2 - Attic - Horizontal - Electric

Comments:

- THE CONDENSATE DRAIN LINES - Do not terminate 3 ft. away from the slab.
- Each entire drain line is not insulated in the attic (required as of the 2000 code).



- THE LEFT CONDENSING UNIT - Has an oversized / undersized breaker in the breaker box (40 amps). The manufacturer specifies a 30 amp maximum breaker be provided.
- THE SECONDARY OVER FLOW PANS - Note: A float switch is not present in the pans to provide further protection against flooding in addition to the pan lines.
- EACH SECONDARY OVER FLOW PAN'S DRAIN LINE - Does not terminate over a door / window opening.
- THE OUTSIDE TEMPERATURE WAS BELOW 60 DEGREES – The temperature differential of the AC's was not tested. Each condensing unit was observed to run in a brief test.

☒ ☐ ☐ ☐

**C. Duct System, Chases, and Vents– Comments:**

- THE ATTIC DUCTS – Most of the ducts were inaccessible & were not inspected.

**IV. PLUMBING SYSTEM**

☒ ☐ ☐ ☒

**A. Plumbing Supply, Distribution Systems and Fixtures**

*Location of water meter: RIGHT OF THE FRONT YARD*

*Location of main water supply valve: IN THE METER BOX*

*Static water pressure reading: 50 psi. The recommended pressure is 40 to 80 psi.*

*Comments:*

**(THE PIPES- Are Copper)**

NOTE: The water meter was checked for movement indicating usage with all the faucets turned off in the house. No movement was observed at the time of the inspection. For a comprehensive test, a leak detection company can be consulted.

- THE WATER SUPPLY VALVE – Is buried.

NOTE: THE TUB OVERFLOWS WERE NOT TESTED – I have never tested a tub overflow that worked properly (the overflows drain water more slowly than the faucet supplies water). In order to conserve water, I have made the decision to stop testing the overflows. To prevent flooding, you should never leave water running unattended in a tub.

- ADD BACKFLOW PREVENTERS – To the exterior faucets.
- THE LAUNDRY ROOM SINK SPRAYER - Is not working.
- THE SHOWER PAN - The upstairs shower pan was not tested.
- THE MASTER BATH SHOWER DOOR - The sweep is damaged / missing.
- THE SHOWER FAUCET – Hot / cold are reversed at the master bath.
- THE SINK FAUCETS – The faucet is not supplying hot water on the hot water setting at the downstairs hall bath.
- THE RUBBER FLUSH VALVE - Must hold the handle down to flush the toilet in the ½ bath.

☒ ☐ ☐ ☐

#### B. Drains, Wastes, and Vents– *Comments:*

**(Washer drain line & faucets were not tested.)**

Drain checks were done at all sinks, tubs, showers, toilets.

NOTE: Water was not run through the laundry drain.

NOTE: Although the plumbing drainpipes appeared to be operational at the time of the inspection, only a video-scan of the drain lines can fully confirm their actual condition. For a comprehensive test of the sewer system, a leak detection company can be consulted before closing.

☒ ☐ ☐ ☒

#### C. Water Heating Equipment

*Energy Source:* GAS

*Capacity:* 1 - 40 Gal. UNIT; 1 - 50 Gal. UNIT

*Comments:*

**(Gas line testing from units to their cut off valves only.)**

- EACH TEMPERATURE & PRESSURE RELIEF VALVE – Was not tested / inspected to prevent possible water leakage should the valve not properly reset. Have a plumber test the valves.
- EACH TEMPERATURE & PRESSURE RELIEF VALVE LINE - Is not ¾ inch pipe that terminates outside with an elbowed end, 6 in. from the ground. Did not locate the termination of the lines to the exterior. The garage line may be buried at the right of the garage.



- EACH VENT PIPE – Does not have a 1 in. minimum clearance from combustible materials at the roof decking / roofing materials, which is a fire hazard.



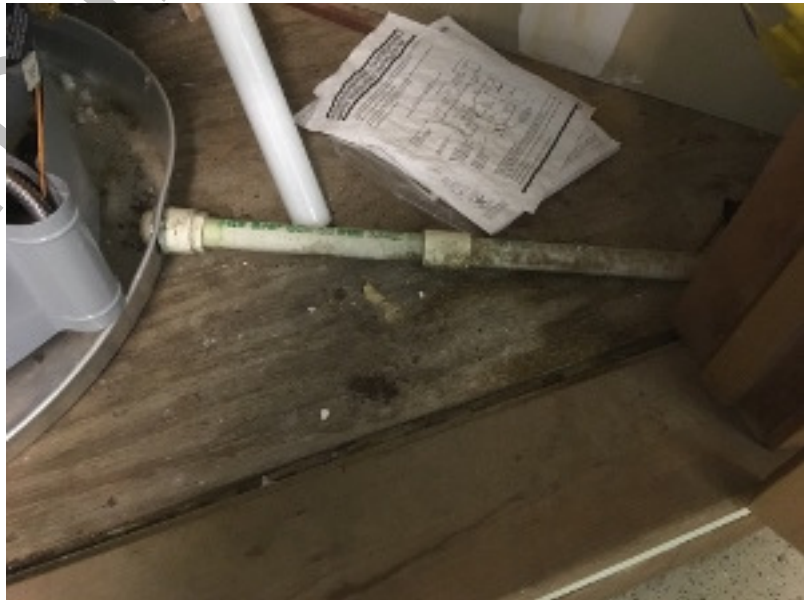
- THE VENT PIPE RAIN COLLAR – Lower the rain collar down to the flashing cone & reseal the rain collar to the vent pipe to prevent water leakage into the attic above the garage.



- THE VENT PIPE RAIN COLLAR – The rain collar to prevent water leakage into the attic is missing at the left rear.
- THE LEFT REAR VENT PIPE - Is rusting above the roof.



- EACH OVER FLOW PAN – Did not locate the termination of the line to the exterior. The drain lines are required to be CPVC pipe rather than PVC pipe (required as of the 2012 code). The use of PVC pipe is a common construction practice in the Central Texas area.





☒ ☐ ☐ ☒

**D. Hydro-Massage Therapy Equipment– Comments:**

- THERE IS A G.F.C.I. OUTLET ON THE SIDE OF THE TUB THAT IS DEAD / DOES NOT RESET - The motor is still working, so at present the tub is not safe. Add G.F.C.I. protection.
- A READILY REMOVABLE ACCESS PANEL TO THE MOTOR AREA UNDER THE TUB WAS NOT OBSERVED - Could not inspect the motor area.
- A BONDING WIRE FOR THE MOTOR – It is not known whether a bonding wire for the motor is present as required.

☐ ☐ ☒ ☐

**E. Other: CSST GAS PIPING – Comments:**

- YELLOW CSST (CORRUGATED STAINLESS STEEL TUBING) GAS LINE WAS NOT OBSERVED.

**V. APPLIANCES**

☒ ☐ ☐ ☐

**A Dishwasher – Comments:**

☒ ☐ ☐ ☒

**B. Food Waste Disposer– Comments:**

- THE DISPOSAL – The electrical connection is required to have an outlet or have a disconnect under the sink (required as of the 2000 code).



I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

☒ ☐ ☐ ☒

**C. Range Hood and Exhaust Systems – Comments:**

- THE KITCHEN VENT PIPE – The cover for the vent is missing. The pipe is prohibited corrugated pipe.



☒ ☐ ☐ ☐

**D. Ranges, Cooktops, and Ovens – Comments:**

☒ ☐ ☐ ☐

**E. Microwave Oven – Comments:**

- (Leak tests were not performed on microwave or its door.)

☒ ☐ ☐ ☒

**F. Mechanical Exhaust Vents and Bathroom Heaters– Comments:**

- EACH BATH EXHAUST FAN - Did not observe a metal exhaust pipe terminating outside through a covered vent.

☒ ☐ ☐ ☐

**G. Garage Door Operator(s) – Comments:**

☒ ☐ ☐ ☒

**H. Dryer Exhaust Systems– Comments:**

*NOTE: The dryer vent should be periodically cleaned to prevent dryer vent fires.*

- THE ROOF FLASHING IS NOT LISTED FOR USE AS A DRYER VENT COVER – The flashing is an air hoc, which does not have a flapper to seal the vent pipe when it is not in use.

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

☐ ☐ ☒ ☐ I. Other– Comments:

## VI. OPTIONAL SYSTEMS

☐ ☒ ☐ ☐ A. Landscape Irrigation (Sprinkler) Systems – Comments:  
(Manually tested only.)

☒ ☐ ☐ ☒ B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction: CONCRETE IN GROUND

Comments:

NOTE: A BASIC SAFETY INSPECTION WAS PERFORMED. NO LEAK TESTS OR EXTENSIVE TESTING OF THE POOL EQUIPMENT WERE DONE.

- THE MOTOR – The motor & other equipment are not bonded as required. The motor should be bonded back to the main breaker box.
- THE HEATER - Was not tested.
- THE POOL SURFACE - Is damaged.
- THERE ARE WATER LEAKS – At the pool equipment.



- THE DECK AROUND THE POOL – Does not have a perimeter beam.
- 



- SPA & POOL MOTORS – There is loose conduit on the wiring.





- There is exposed wiring at the right motor.



- THE SUCTION PORTALS - Newly designed safety covers are now required to prevent the risk of drowning. A 2<sup>nd</sup> suction portal is missing.
- DROWNING PREVENTION IS REQUIRED - There must be a fence meeting various specifications (see the International Residential Code) including a self closing & locking gate surrounding the pool. Additionally, either a fence between the pool or spa and the house with a self closing gate or alarms on all the exterior doors to the pool or spa is required.

☐ ☐ ☒ ☐

**C. Outbuildings - Comments:**

☐ ☒ ☐ ☒

**D. Smoke Alarms & Carbon Monoxide Alarms – Comments:**

NOTE: The smoke alarms were not manually tested by pushing the test buttons on the alarms. The only alarms observed were part of the alarm system. Alarms are not present in all the required locations.

- ADD SMOKE ALARMS - No farther than 6 ft. maximum from the bedrooms & inside all the bedrooms. All the alarms must go off at the same time (series wired together).
- CARBON MONOXIDE ALARMS – Are not present outside each bedroom (required when gas appliances are present / when there is an attached garage present). In addition, I would suggest that a carbon monoxide alarm be installed near the attached garage.

☒ ☐ ☐ ☐

**E. Other – Comments:**

(If you are concerned about any comments above, consult a licensed or professionally qualified person for repairs or to advise you.) A VISUAL AND PRACTICAL NON-DESTRUCTIVE INSPECTION WAS CONDUCTED OF THE ABOVE NOTED FACILITY TO DETERMINE WHETHER THE ABOVE CHECKED ITEMS WERE DEFICIENT OR WERE ADEQUATELY PERFORMING THE FUNCTION FOR WHICH THEY WERE INTENDED. THE INSPECTION WAS NOT A TOTAL AND COMPLETE INSPECTION OF THE ABSOLUTE QUALITY OR CONDITION OF THOSE ITEMS INSPECTED, BUT WAS MERELY AN INSPECTION OF THE GENERAL CONDITION AND PERFORMANCE OF THE INDICATED ITEMS WHICH EXISTED AT THE TIME OF THE INSPECTION. THIS INSPECTION REPORT IS VALID ONLY FOR THE DAY AND TIME OF THE INSPECTION. NO WARRANTIES OR GUARANTIES, EXPRESS OR IMPLIED ARE INTENDED OR REPRESENTED TO ACCOMPANY THIS REPORT. LONGHORN INSPECTIONS CANNOT WARRANT NOR GUARANTEE THE LONGEVITY OR INTERNAL COMPONENTS OF ANY OF THE ITEMS INSPECTED. THIS REPORT WILL INDICATE WHETHER THE ITEM INSPECTED IS GENERALLY IN SERVICEABLE CONDITION AND IS ADEQUATELY PERFORMING THE FUNCTION FOR WHICH IT WAS INTENDED, OR HAS DEFECTS, BUT IT IS NOT TO BE CONSTRUED AS A GUARANTEE OF THE ABSOLUTE QUALITY OR CONDITION OF THOSE ITEMS INSPECTED. LONGHORN INSPECTIONS, INC. DOES NOT INSPECT PRESSURE REDUCING VALVES, REFRIGERATORS, WASHING MACHINES, CLOTHES DRYERS, INTERCOMS, CLOCKS, TIMERS, SELF-CLEANING OR BAKE TIME OF OVENS, WATER SOFTENERS, HUMIDIFIERS, MICROWAVE RADIATION LEAKAGE, ELECTRONIC AIR FILTERS, AIR-CONDITIONING LOAD OR DESIGN DEFICIENCIES, PHOTOCELLS, SOLAR SYSTEMS, SECURITY SYSTEMS, WELLS, SEPTIC SYSTEMS, SEWER LINES, LEAD PAINT, RADON GAS, ASBESTOS, MOLDS OR ANY OTHER HAZARDOUS MATERIALS, AND COULD NOT INSPECT AREAS WHICH ARE CONCEALED, REQUIRE DISASSEMBLY, OR ARE BEHIND FURNITURE & STORAGE. NO ENGINEERING OR SCIENTIFIC TESTS WERE PERFORMED. THE INSPECTOR IS NOT AN ENGINEER AND THE EVALUATION OF THE FOUNDATION SHOULD NOT BE CONSTRUED AS AN ENGINEER'S REPORT. A MOISTURE METER WAS NOT UTILIZED. YELLOW CSST (CORRUGATED STAINLESS STEEL TUBING) GAS LINE MAY BE PRESENT. I AM NOT AN EXPERT IN THE EVALUATION OF CSST. FOR FURTHER INFORMATION SEE CSSTSAFETY.COM. A SELLER'S FAILURE TO DISCLOSE DAMAGE OR REPAIRS OR HIDING OF DAMAGE OR REPAIRS IS NOT THE FAULT OF LONGHORN INSPECTIONS, INC. THE BUYER IS ENCOURAGED TO CALL INSPECTOR DANNY PITTS AT MOBILE / OFFICE # 512-422-5553 BEFORE CLOSING WITH ANY QUESTIONS REGARDING THE INSPECTION. BY ACCEPTING OR USING THIS INSPECTION REPORT FOR ANY PURPOSE, THE BUYER AGREES TO THE ABOVE TERMS.

THE INSPECTOR IS NOT A CODE COMPLIANCE OFFICIAL. THIS IS NOT A CODE INSPECTION AND SHOULD NOT BE CONSTRUED AS ONE. REFERENCES TO CODES IN THE REPORT ARE FOR INFORMATIONAL PURPOSES ONLY.

## ADDENDUM: REPORT SUMMARY

The summary is a list of the deficiencies noted in the report. The summary is not the entire report. The summary does not constitute a priority list. The complete report may include additional information of concern to the customer. It is highly recommended that the customer read the entire report carefully.

Some of the items in the report may reflect changes in the building code since this property was built. In a real estate transaction in Texas, neither the seller nor the buyer is required to bring these items up to present day codes. The items are included in the report for information purposes only.

- THE PIER & BEAM FOUNDATION – The pier & beam foundation was generally found to be in satisfactory condition on the day of the inspection
- THE CRAWL SPACE - Was inaccessible at the right rear (the kitchen area) due to the low clearance & in front of the “tunnel” under the den because it narrowed to become impassible.
- THE PIER & BEAM FOUNDATION PIERS – Are poured concrete, depth of the footings is unknown.
- ALL WOOD BEAMS & FLOOR JOISTS THAT ARE WITHIN 12 IN. OF THE GROUND – Are not pressure treated wood as required at the right under the kitchen.
- THE GUTTERS – Remove all debris from the gutters.
- THE GUTTER DOWNSPOUTS – Add splash blocks or extensions at all the downspouts that terminate on the ground.
- REGRADE THE SOIL – To expose 4 to 6 in. of the slab at the right rear & the left front of the living room.
- Regrade the soil down & away from the foundation (the code requires 5% slope extending 10 ft. out from the house) to divert the water around & away from the house, especially at the right. In other words, this means that the soil should fall 6 in. within 10 ft. of the house on all 4 sides of the house.
- THERE ARE TREE DAMAGED SHINGLES – At the rear of the ridge at the left rear gable roof.
- THERE ARE MULTIPLE DAMAGED / WORN RIDGE CAP SHINGLES – At various locations.
- THE PLUMBING & MECHANICAL VENT PIPE FLASHING BOOTS - Are loose at various locations, reail.
- The boots are not properly installed (the bottoms of the boots are not on top of the shingles) at the rear of the garage.
- A RAIN COLLAR TO PREVENT WATER LEAKAGE INTO THE ATTIC – Is missing at the upstairs rear water heater vent pipe.
- THERE ARE LOOSE / RUSTED FLASHINGS – At various locations including at the left rear & the chimney
- SEAL THE COUNTER FLASHINGS / FLASHING ENDS – At the roof / wall connections at various locations including at the left of the garage to prevent water penetration.
- THE SKYLIGHT – Is not properly installed on a “curb” (a 2x4 box to raise the skylight off the roof surface which allows proper flashings to be provided in order to prevent water penetration) at the loft.
- THE SKYLIGHT – Is broken at the game room.
- THERE ARE MISSING STEP FLASHINGS – Step flashings are required at the roof / wall connections by code. NOTE: Turnback flashings / J flashings are present rather than step flashings. The use of turnback flashings is a common construction practice in the Central Texas region.
- THERE ARE MISSING FACTORY BUILT KICKOUT FLASHINGS – At the roof / wall connections at various locations including at the left of the garage & the right rear where a wall extends below the roof termination (to prevent water penetration behind / into the siding).
- THE VALLEY FLASHING – Does not terminate on top of the singles at the rear of the right gable above the garage.
- THERE IS AN EXPOSED ROOF NAIL – Through the surface of the shingles at the rear of the valley above the garage.
- THERE ARE MISSING NAILS LEAVING HOLES – At the roof / wall flashing at the rear of the chimney / front of the master suite deck.
- ALL EXPOSED ROOF NAILS - Are not sealed (caulked) at the flashings, roof vents & ridge shingles to prevent water penetration.
- THE METAL DRIP EDGE FLASHING - Is missing at the eaves. The purpose of the metal drip edge is to help protect the drip mold, fascia & roof decking from water damage. It is a common construction practice in the Central Texas area to omit the drip edge, although it is required by the shingle manufacturer's specifications for composition shingles & tile.



I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

- THE ROOF – Remove the debris from the roof at various locations.
- THE ATTIC FRAMING:
  - Joist hangers are missing at the headers between the ceiling joists at the attic door.
- DECAYED / DAMAGED FASCIA & DRIP MOLD – At various locations including at the right of the chimney.
- THE ROOF DECKING HAS NOT BEEN CUT 2 TO 3 INCHES AT THE RIDGE – To create an opening that allows the ridge vents to work.
- THE INSULATION – Was mostly inaccessible. The insulation has poor / uneven coverage at various locations. Add a minimum of R-38 to the ceilings.
- THE ATTIC DOOR (PULL DOWN STAIRS) – Cut the legs of the stairs so that the stairs are straight & the hinges are properly engaged. The garage attic door is not a fire rated door.
- THE KITCHEN COUNTERTOP – Recaulk the tile backsplash to the countertop.
- STUCCO SIDING IS PRESENT – This report does not attempt to identify the type of stucco system installed or the installation methods used to install this stucco system. I am not an expert in the evaluation of stucco siding. If concerned, have a certified stucco specialist advise you.
- THERE ARE CRACKS IN THE STUCCO – At various locations including at the left rear.
- THERE IS DAMAGED STUCCO – At various locations including at the left deck pillars.
- PROPERLY INSTALLED STUCCO CONTROL JOINTS / EXPANSION JOINTS – Are missing. Joints are not present for every 144 square feet of wall area (a rough industry standard), at the second story floor line & at all the corners of the door & window openings.
- WEEP SCREED FLASHING TO PROVIDE A DRAINAGE PLANE FOR THE STUCCO – Is missing at the bottom of the walls.
- THE STUCCO SIDING AT THE ROOF / WALL CONNECTIONS – Does not have 2 inch clearance from the shingles at various locations.
- THERE ARE CRACKS / HOLES IN THE ROCK MORTAR - At various locations. Seal the cracks & holes to prevent water penetration.
- WEEP HOLES EVERY 33 IN. – Are missing at the first layer of the rock at various locations.
- ROCK EXPANSION JOINTS – Are not present.
- RESEAL THE EXTERIOR – At the rock moldings, the windows, the trim & the siding connections at various locations (to prevent water penetration). Seal all the wall penetrations. The maintenance of the sealants will be an ongoing process.
- THE FLOORS ARE SLIGHTLY OUT OF LEVEL – At various locations including in the hall from the garage door to the game room & in the hall to the ½ bath.
- GARAGE DOORS (THE DOOR BETWEEN THE GARAGE & THE HOUSE) ARE REQUIRED TO HAVE A SELF CLOSING DEVICE – To maintain a fire separation from the dwelling.
- ADJUST THE DEAD BOLT STRIKER PLATE – At the garage door, so the dead bolt will work properly.
- DRILL THE DEAD BOLT HOLE DEEPER – At the front downstairs bedroom exterior door & the master bedroom exterior door.
- THE DOOR FOR THE ABANDONED AC CLOSET IN THE GAME ROOM – Is not a solid core door.
- THE WEATHER STRIPPING IS MISSING – At the abandoned AC closet door.
- THE DOOR SWEEP - Is missing at the abandoned AC closet door.
- THE DOOR STOPS - Are missing / damaged at various locations.
- THE DOORS ARE BINDING ON THEIR FRAMES – At the laundry room, the loft exterior & the master bath doors.
- THE DOOR DRAGS ON THE THRESHOLD – At the garage.
- THE HANDLE LOCK IS NOT WORKING – At the garage door & a rear sliding door at the right rear of the den.
- THE STRIKER PLATE IS MISSING – At the front door.
- THERE ARE DAMAGED WINDOW MOLDINGS - At various windows in the living room.
- THERE ARE FOGGED WINDOWS - At the left in the living room & the master bath.
- THE WINDOWS ARE HARD TO OPERATE – At various locations including at the game room, the downstairs hall bath & the rear downstairs bedroom.
- THE WINDOW LOCKS STICK (BIND ON THE FRAMES) – At the den.
- THE WINDOW – Is not staying up by itself (the spring is broken / loose) at the left front of the living room.
- THERE ARE MISSING SCREENS – At all the windows (there are screens in the garage).
- ALL WINDOWS WITHIN 2 FT. OF A DOOR - Must be safety glass. The window is not designated as tempered glass adjacent to the master bedroom door.
- THE STAIR RAILING IS MISSING – At the pool stairs. When 3 or more steps are present (a railing is required & pickets must be 4 in. apart maximum).

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

- THE HANDRAILS – The handrails do not turn back to the wall at the top / bottom ends at various locations.
- A PROPER HANDRAIL IS NOT PRESENT – At the rear porch & the bottom flight of stairs. The handrail grip size shall be a minimum of 1 ¼ inches to a maximum of 2 5/8 inches.
- THE FLUE LINER – Was inaccessible & was not inspected. If concerned, have a chimney specialist evaluate the flue liner.
- THE CHIMNEY FIRE STOP – Was inaccessible & was not inspected.
- NOTE: NADRA (THE NORTH AMERICAN DECK & RAILING ASSOCIATION) ESTIMATES THAT THE TYPICAL LIFE EXPECTANCY OF WOOD DECKS IS ABOUT 10 TO 15 YEARS.
- THE REAR DECK POSTS - Have wood to soil / concrete contact, add post holders at the left. The bottoms of the posts are damaged / decayed at various locations.
- THE POSTS / PIERS FOR THE OBSERVATION DECK – Have concrete poured around them, which can trap water against the posts.
- THERE IS DAMAGE / DECAY – At various locations at the railings & pickets, especially at the master deck.
- THE NAILS ARE NOT GALVANIZED / ARE RUSTING – At the railings at various locations.
- THE RAILINGS ARE LOOSE – At the master suite deck.
- THE REAR PORCH / DECK RAILING - Is missing at the left of the doors. When porch / deck heights exceed 30 in., a railing is required & the pickets must be 4 in. apart maximum.
- THE LOFT PORCH / DECK RAILING PICKETS – Are not 4 in. maximum apart.
- THE SERVICE IS APPARENTLY GROUNDED FROM THE METER BOX. A GROUND WIRE WAS NOT OBSERVED IN EITHER OF THE BREAKER BOXES IN THE GARAGE - Did not observe the termination of the ground wire to a ground rod or the slab.
- THE MAIN BREAKER BOX –The second ground wire to a ground rod / the slab is missing (required as of the 1997 code).
- The box has double lugged neutral wires (more than 1 wire connected to the screws) at the buss bar, which is a potential fire hazard.
- The swimming pool equipment is not bonded.
- The metal water line does not appear to be bonded. Have a licensed electrician evaluate the water line.
- The gas line is not bonded.
- THE MAIN BREAKER BOX - All the wires pass through 3 large holes in the top of the box, which creates a heat issue. The holes are not closed / sealed to prevent the potential spread of fire from the box into the wall. The wires are not connected to the box.
- THE LEFT MAIN BREAKER BOX - Does not have a main disconnect, required when more than 6 breakers are present (if it is to be considered a 2<sup>nd</sup> main box).
- If it is to be considered a secondary box, it is not bonded.
- THE POOL SECONDARY BREAKER BOX – The box is not bonded.
- The box has 2 double lugged breakers, add 2 breakers & separate the 2 wires on the double lugged breakers to 1 wire per breaker.
- ARC PROTECTION BREAKERS FOR ALL LIVING AREAS (AFCI – ARC FAULT CIRCUIT INTERRUPTOR BREAKERS, WHICH ARE FIRE PREVENTION DEVICES) – Are now available (required as of the 2009 code).
- ADD G.F.C.I. OUTLETS - To all the outlets at the kitchen countertops.
- ADD G.F.C.I. BREAKERS - For the kitchen appliances including the dishwasher & the disposal outlets (required as of the 2015 code) & all the laundry room outlets (required as of the 2015 code).
- THE WEATHER PROOF OUTLET COVERS AT THE EXTERIOR OUTLETS – Are not the “bubble type covers” required for “wet locations” (where there is not a roof protecting the outlets) at various locations.
- THE LIGHT IS NOT WORKING – At the downstairs den closet.
- THE CAN LIGHTS – Verify that the can lights are rated for installation under insulation where applicable.
- THERE ARE LOOSE OUTLETS – At various locations including at the bar sink, the right rear of the garage, the left rear of the living room, the downstairs hall & the master bath.
- THERE ARE DEAD OUTLETS – At the right of the fireplace in the downstairs den & on the Jacuzzi.
- THE 220 AMP CLOTHES DRYER OUTLET – Is not a 4 prong grounded outlet (introduced in the 1997 code).
- THE CEILING FANS - Add longer pull chains to change the speeds of the fans where needed.
- THE GAS LINE – Is missing a drip leg / sediment trap above the garage.
- THE VENT PIPE RAIN COLLAR - Lower the rain collar down to the flashing cone & reseal the rain collar to the vent pipe to prevent water leakage into the attic above the garage.
- EACH VENT PIPE – Does not have a 1 inch minimum clearance from combustible materials at the roof decking / roofing materials, which is a fire hazard.

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

- THE CONDENSATE DRAIN LINES - Do not terminate 3 ft. away from the slab.
- Each entire drain line is not insulated in the attic (required as of the 2000 code).
- THE LEFT CONDENSING UNIT - Has an oversized / undersized breaker in the breaker box (40 amps). The manufacturer specifies a 30 amp maximum breaker be provided.
- THE SECONDARY OVER FLOW PANS - Note: A float switch is not present in the pans to provide further protection against flooding in addition to the pan lines.
- EACH SECONDARY OVER FLOW PAN'S DRAIN LINE - Does not terminate over a door / window opening.
- THE OUTSIDE TEMPERATURE WAS BELOW 60 DEGREES – The temperature differential of the AC's was not tested. Each condensing unit was observed to run in a brief test.
- THE ATTIC DUCTS – Most of the ducts were inaccessible & were not inspected.
- THE WATER SUPPLY VALVE – Is buried.
- ADD BACKFLOW PREVENTERS – To the exterior faucets.
- THE LAUNDRY ROOM SINK SPRAYER - Is not working.
- THE SHOWER PAN - The upstairs shower pan was not tested.
- THE MASTER BATH SHOWER DOOR - The sweep is damaged / missing.
- THE SHOWER FAUCET – Hot / cold are reversed at the master bath.
- THE SINK FAUCETS – The faucet is not supplying hot water on the hot water setting at the downstairs hall bath.
- THE RUBBER FLUSH VALVE - Must hold the handle down to flush the toilet in the ½ bath.
- EACH TEMPERATURE & PRESSURE RELIEF VALVE – Was not tested / inspected to prevent possible water leakage should the valve not properly reset. Have a plumber test the valves.
- EACH TEMPERATURE & PRESSURE RELIEF VALVE LINE - Is not ¾ inch pipe that terminates outside with an elbowed end, 6 in. from the ground. Did not locate the termination of the lines to the exterior. The garage line may be buried at the right of the garage.
- EACH VENT PIPE – Does not have a 1 in. minimum clearance from combustible materials at the roof decking / roofing materials, which is a fire hazard.
- THE LEFT REAR VENT PIPE - Is rusting above the roof.
- THE VENT PIPE RAIN COLLAR – The rain collar to prevent water leakage into the attic is missing at the left rear.
- EACH OVER FLOW PAN – Did not locate the termination of the line to the exterior. The drain lines are required to be CPVC pipe rather than PVC pipe (required as of the 2012 code). The use of PVC pipe is a common construction practice in the Central Texas area.
- THERE IS A G.F.C.I. OUTLET ON THE SIDE OF THE TUB THAT IS DEAD / DOES NOT RESET - The motor is still working, so at present the tub is not safe. Add G.F.C.I. protection.
- A READILY REMOVABLE ACCESS PANEL TO THE MOTOR AREA UNDER THE TUB WAS NOT OBSERVED - Could not inspect the motor area.
- A BONDING WIRE FOR THE MOTOR – It is not known whether a bonding wire for the motor is present as required.
- YELLOW CSST (CORRUGATED STAINLESS STEEL TUBING) GAS LINE WAS NOT OBSERVED.
- THE DISPOSAL – The electrical connection is required to have an outlet or have a disconnect under the sink (required as of the 2000 code).
- THE KITCHEN VENT PIPE – The cover for the vent is missing.
- EACH BATH EXHAUST FAN - Did not observe a metal exhaust pipe terminating outside through a covered vent.
- THE ROOF FLASHING IS NOT LISTED FOR USE AS A DRYER VENT COVER – The flashing is an air hoc, which does not have a flapper to seal the vent pipe when it is not in use.
- THE MOTOR – The motor & other equipment are not bonded as required. The motor should be bonded back to the main breaker box.
- THE HEATER - Was not tested.
- THE POOL SURFACE - Is damaged.
- THERE ARE WATER LEAKS – At the pool equipment.
- THE DECK AROUND THE POOL – Does not have a perimeter beam.
- SPA & POOL MOTORS – There is loose conduit on the wiring.
- There is exposed wiring at the right motor.
- THE SUCTION PORTALS - Newly designed safety covers are now required to prevent the risk of drowning. A 2<sup>nd</sup> suction portal is missing.
- DROWNING PREVENTION IS REQUIRED - There must be a fence meeting various specifications (see the International Residential Code) including a self closing & locking gate surrounding the pool. Additionally, either a fence between the pool or spa and the house with a self closing gate or alarms on all the exterior doors to the pool or spa is required.



I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

- ADD SMOKE ALARMS - No farther than 6 ft. maximum from the bedrooms & inside all the bedrooms. All the alarms must go off at the same time (series wired together).
- CARBON MONOXIDE ALARMS – Are not present outside each bedroom (required when gas appliances are present / when there is an attached garage present). In addition, I would suggest that a carbon monoxide alarm be installed near the attached garage.